



RALSTON DOWNTOWN/HINGE DESIGN GUIDELINES

ADOPTED
JANUARY 2020

January 2020

Prepared for:
City of Ralston, NE

Prepared by:
HDR



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Introduction

ESSENTIAL ELEMENTS

- The district is designed to accommodate a mix of uses and housing typologies in a walkable urban setting.
- The district consists of two different areas, each with specific guidelines regulating the development of new structures within their respective boundaries.
- Guidelines are also provided for the architecture of buildings, and landscape.
- The Design Guidelines are a companion document to the Master Plan and the Development Application / Review Checklist.
- All three documents shall be reviewed prior to the design of any new buildings.

The Downtown / Hinge is a walkable urban district located in Ralston, Nebraska. This district is designed to incorporate a mix of uses and housing typologies, all within a pedestrian-friendly setting. The district is comprised of two neighborhoods, the existing Downtown Ralston and the new Hinge area. Because walkable urbanism is a departure from the typical conventional development patterns within the region, the design and siting of new buildings and other features within the district is very important. As such, the design and construction of all new buildings within the district will be guided by these **Design Guidelines**. The Design Guidelines are a companion document to **the Ralston Downtown/Hinge Master Plan and the Downtown/Hinge District Development Application/Review Checklist**. Prior to the design and construction of any new building within the neighborhood, all three of these documents shall be reviewed and used for design inspiration and guidance. Adherence to the vision and parameters identified in these documents will facilitate timely review and approval of all development applications for the district.

The Downtown/Hinge District

Development Application / Review Checklist

The Downtown/Hinge District consists of walkable urban neighborhoods located in the core of Ralston. The two neighborhoods are designed to incorporate a mix of uses with a pedestrian orientation. Because this is a departure from typical conventional development patterns within the region, the design and siting of new buildings within these neighborhoods is very important. As such, all plans for new buildings shall be submitted to the City of Ralston's Architectural Control Committee (ACC) for review.

Following the required 'Pre-Meeting' with the City Administrator and prior to initiating the design of a new building, the developer and their design team will be given the following documents that are meant to guide all new development in the Downtown/Hinge Districts:

- The Ralston Downtown/Hinge Master Plan (October 2019)
- The Ralston Downtown/Hinge Design Guidelines (December 2019)

Once these documents have been reviewed, buildings shall be designed to be in conformance with both the spirit and the requirements of these documents.

The developer/architect for a proposed building shall provide the following 'Schematic' submittal package to the ACC as the first step in the Development Application approval process:

- Site Plan of the proposed project
- Site Plan of the proposed project in context with adjacent development
- Grading and Utility Plans
- Landscape plan (location, size, and quantities of plants and associated hardscape)
- Exterior Site & Building Lighting Components (locations, materials, etc.)
- Exterior Site & Building Signage (locations, materials, etc.)
- Building Floor Plans
- Building Elevations (front, rear, and side)
- Building Façade Materials (material samples, colors, etc.)
- Parking Plans (required, provided, location, etc.)

Once the submittal package has been received, the ACC will review the material, provide necessary feedback, and request revisions or approve the development application.

Development Applications (three hard copies and a digital copy in PDF format) shall be submitted to:

Rick Hoppe City Administrator
City of Ralston
5500 S. 77th Street
Ralston, NE 68127
RHoppe@cityofralston.com

For additional information, please call: **402-331-6677**

How To Use This Document

- 1 Please review the Master Plan for a greater understanding of the vision, goals, and design intent of the district.
- 2 Once you have reviewed the master plan, identify the location within Downtown/The Hinge where you would like to build your mixed-use, commercial, or residential building
- 3 Refer to pages 8/9 (The Neighborhoods) to identify the specific neighborhood your identified site is located in.
- 4 Refer to the appropriate Neighborhood Guidelines section of this document for guidance on setbacks, porch zones, garage access, front door placement, building height, and any additional special requirements.
- 5 Refer to the Architecture Guidelines section for guidance on the architectural design of your new building.
- 6 Review the Landscape Guidelines section for guidance on landscape design (hardscape and softscape) and the approved plant palette.
- 7 Select an architect and/or developer for the design and construction of your new building.
- 8 Schedule a Pre-Application Meeting with the Architectural Control Committee and/or request a Development Application/Review Checklist from the Architectural Control Committee.
- 9 Design your new building incorporating guidance from the above steps.
- 10 Prepare and submit your Development Application to the Architectural Control Committee based on the Review Checklist provided in Step 8.
- 11 Once the Architectural Control Committee has approved your Development Application, construct your building in accordance with the normal city permitting process, following all applicable codes and ordinances.

The Master Plan

ESSENTIAL ELEMENTS

- The study area is designed as a distinct district comprised of two walkable urban neighborhoods.
- Blocks are short in length and designed to encourage walking and bicycle riding.
- Cars are accommodated, but given equal preference with pedestrians and cyclists.
- A variety of residential typologies are provided, including, apartments, townhouses, cottage homes, missing middle and mews homes.
- All homes are located within easy walking distance of Downtown and other neighborhood amenities.
- Downtown is the heart of the district and will contain a mix of uses, including restaurants and retail. Redevelopment of existing structures and small scale infill should be encouraged as a first step to build momentum.
- A robust network of sidewalks, trails and greenways provides residents with direct access to every reach of the neighborhood.
- All buildings are designed to enhance the public realm by fronting onto the street and have both functional and ceremonial front doors.
- Parking within the district is provided on the street or in surface parking lots or parking structures located to the rear of buildings.
- Small neighborhood parks and plazas are strategically located throughout the site.



Revitalized "Main Street" Buildings



New contemporary townhomes



Key:

- | | |
|---|---------------------------------------|
| 1. RALSTON CREEK RESTORATION | 13. THE GRAND ENTRANCE |
| 2. BURLINGTON STREET CONNECTION | 14. BURLINGTON PLAZA |
| 3. CITY PARKING LOT REDEVELOPMENT | 15. 5-POINT PLAZA |
| 4. FIRE / RESCUE RELOCATION AND REDEVELOPMENT | 16. THE GRANARY GREEN |
| 5. HILLCREST LANDING SITE REDEVELOPMENT | 17. URBAN PLAZAS |
| 6. THE GRANARY RETROFIT | 18. DISTRICT PARKING STRUCTURE |
| 7. UNITED SEEDS RETROFIT | 19. FOOD TRUCK PARK |
| 8. THE MEWS | 20. SMALL GROCERY STORE |
| 9. THE PASSAGEWAY | 21. INFILL COURTYARD BUNGALOWS |
| 10. THE PROMENADE | 22. DOWNTOWN DISTRICT PARKING LOT |
| 11. RALSTON CREEK TRAIL | 23. PARK-FRONTING MIXED USE BUILDINGS |
| 12. GATEWAY PARK | 24. APARTMENT BLOCK REDEVELOPMENT |

The Neighborhoods

ESSENTIAL ELEMENTS

- The district is comprised of two unique neighborhoods, Downtown and The Hinge.
- Each neighborhood accommodates different building typologies and market segments.
- Housing options include apartments, townhouses, cottage homes, missing middle and mews homes. The intent is to create a diverse market unique within the metro area.
- Each neighborhood has its own unique identity and features.

The district is comprised of two unique neighborhoods. Both of these neighborhoods are designed to accommodate a slightly different building mix and corresponding market segment. Taken together, these neighborhoods accommodate a broad range of demographics and lifestyles ranging from millennials, young professionals, and couples, to families, empty nesters, and retirees. Housing options within the neighborhoods include apartments, townhouses, cottage homes, missing middle, and mews homes.

The two neighborhoods include the following:

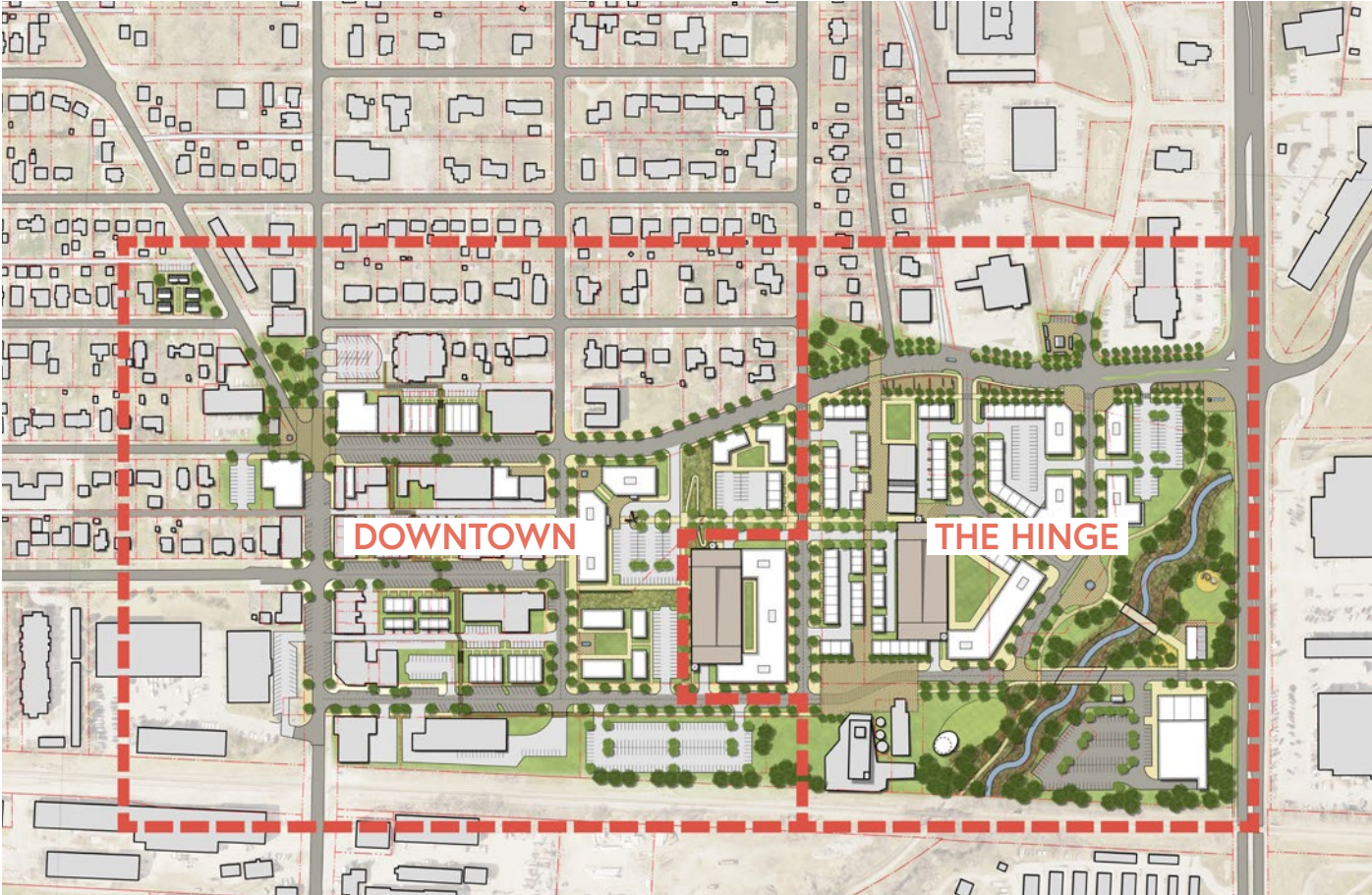
- Downtown
- The Hinge

Downtown will likely be the first neighborhood to be redeveloped. Development should be of appropriate size and scale relative to the existing building stock. This helps preserve and celebrate the character of downtown, and creates smaller, easier projects that can help build momentum for the larger projects in The Hinge.

An overview and details of the two neighborhoods, as well as their corresponding design guidelines, is provided on the following pages.



Examples of restored downtown storefronts



Example of new mixed-use building

Neighborhood Guidelines

ESSENTIAL ELEMENTS

- Each neighborhood accommodates a different demographic and market and has its own unique design features.
- All neighborhoods are traditional in design, with alley access and parking to the rear of the lots.
- Each Neighborhood has its own set of design guidelines to help maintain its unique nature.
- Guidelines address a variety of design-related elements.
- Overviews are provided for each neighborhood.

Each neighborhood accommodates a slightly different demographic and market. Because of the difference in scale and mix of uses, each neighborhood will also have its own unique character. The design guidelines are intended to create a common language for each new or renovated building in the district. This will help unify both neighborhoods into a cohesive urban fabric, and create a comfortable pedestrian environment. These guidelines address setbacks, porch zones, garage access, front door placement, building height, and neighborhood-specific special requirements. An overview of each neighborhood and their corresponding design guidelines is provided on the following pages.



Cottage homes located in new pocket neighborhood



Urban format multi-family building



Downtown

ESSENTIAL ELEMENTS

- Downtown redevelopment will consist primarily of renovations to existing structures, and small scale infill development projects
- New buildings should focus retail uses along primary streets and at strategically located nodes.
- The remainder of the buildings should be residential in nature with the goal of creating new “rooftops” and increasing density to support the existing retail environment.
- The buildings should have common setbacks and enhanced facades along all streets.
- Parking will be located on-street, via alleys at the rear of buildings, and at a shared lot south of downtown on Burlington street.

Downtown will be the key first phase of redevelopment in the district. Small scale renovations and infill buildings will preserve and enhance the character unique to downtown. The goal is to create a vibrant urban environment that is self-sustaining. Strategically located retail and a variety of residential typologies will create a unique market to build upon in following phases.

New and renovated buildings should match the scale, massing, and character of existing buildings. New facades should align with the existing street wall established by the existing structures. Existing parking lots should be phased out and a district parking approach should be established. Existing streetscapes should be improved to enhance the pedestrian environment. A variety of residential typologies should be built to attract a new and diverse group of future residents. These new rooftops will better support existing businesses in downtown, create opportunity for future growth within downtown, and build momentum for larger scale redevelopment projects in the Hinge.



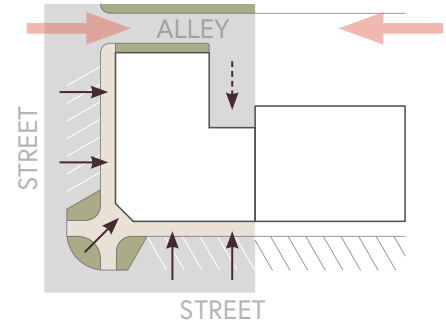
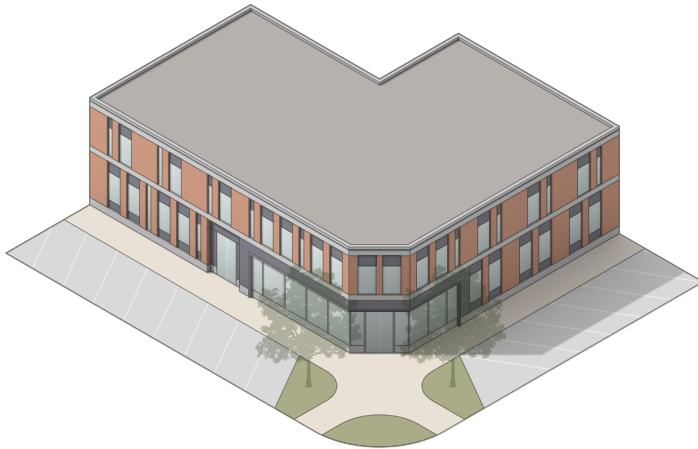
LAND USE:

- Mixed-Use*
- Townhomes*
- Multi-Family*
- Pocket Neighborhood*
- Missing Middle*
- Mixed-Use, Townhome, Multi-Family, or Missing Middle*

SPECIAL REQUIREMENTS:

- Required Retail Storefronts*
- Suggested Retail Storefronts*
- Enhanced Facades*
- Axial Views / Terminated Vistas*
- Public Art*
- Water Feature*

Mixed-Use



SETBACKS

- (A) Front - 0'-5'
- (B) Back - Varies
- (C) Side - 0'-5'

BUILDING HEIGHT

2-4 Stories

CANOPY / BALCONY ZONE

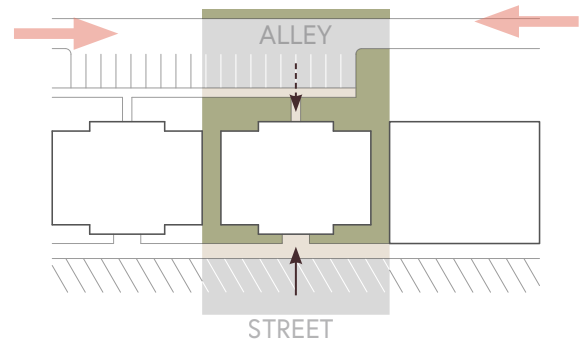
5' Max. from building face

- Parking Access
- Primary Entrances
- Functional Entrances

NOTE

All setbacks are from property line.

Missing Middle Housing



SETBACKS

- (A) Front - 0'-5'
- (B) Back - Varies
- (C) Side - 5'-10'

BUILDING HEIGHT

2-3 Stories

CANOPY / BALCONY ZONE

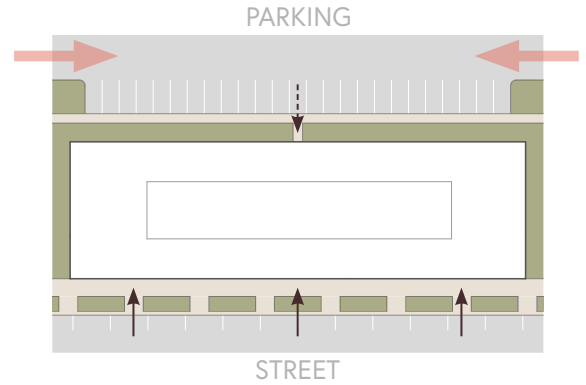
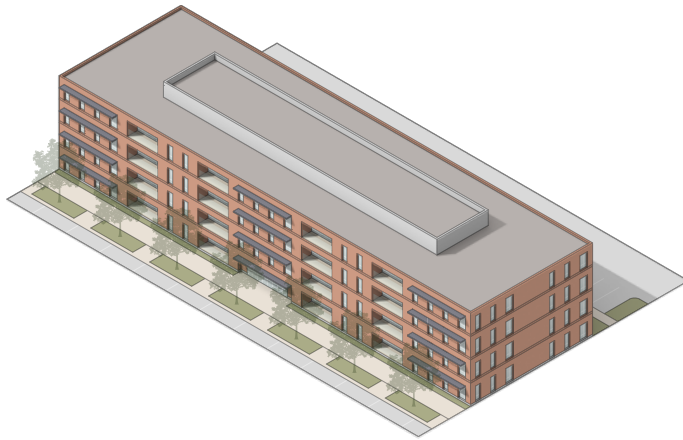
5' Max. from building face

- Parking Access
- Primary Entrances
- Functional Entrances

NOTE

All setbacks are from property line.

Multi-Family



SETBACKS

- (A) Front - 5-10'
- (B) Side Street - 15'
- (C) Back - Varies
- (D) Side -10'

BUILDING HEIGHT

3-6 Stories

CANOPY / BALCONY ZONE

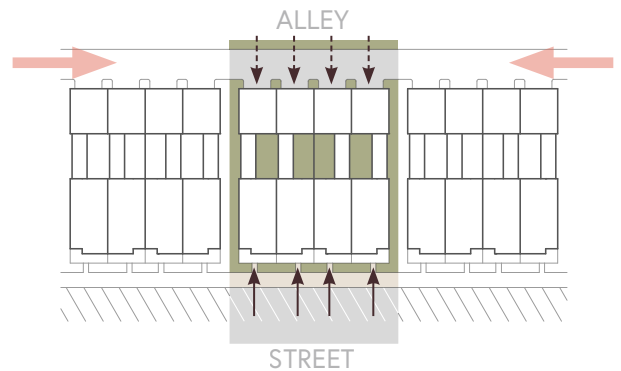
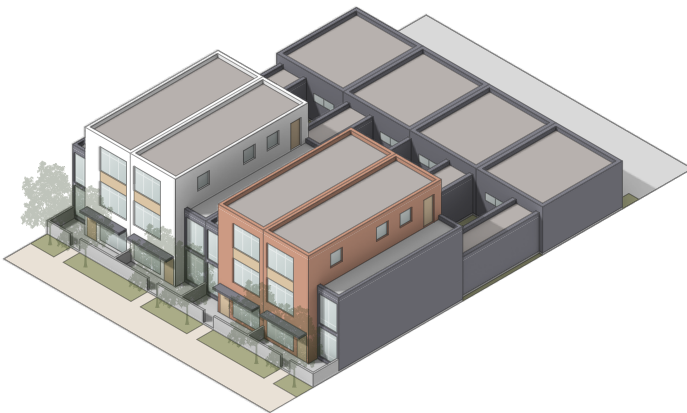
5' - 10' from building face

- Parking Access
- Primary Entrances
- Functional Entrances

NOTE

All setbacks are from property line.

Townhomes



SETBACKS

- (A) Front - 10-15'
- (B) Side Yard - 10'
Minimum
- (C) Back - Varies
- (D) Interior - 0'

BUILDING HEIGHT

3 Stories

PORCH ZONE

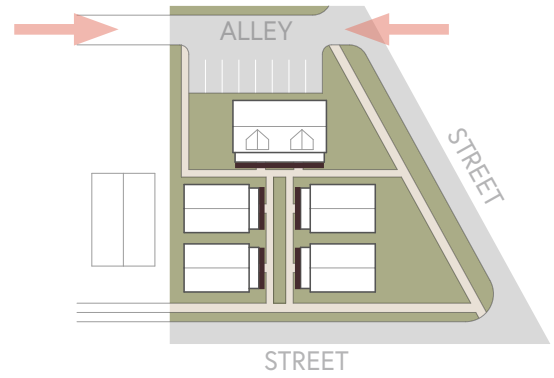
5' - 10' from building face

- Parking Access
- Primary Entrances
- Garage Entrances

NOTE

All setbacks are from property line. Townhomes should have a minimum of three conjoined units with a shared interior wall.

Pocket Neighborhood



SETBACKS

- (A) Front - 10'
- (B) Side Street - Varies
- (C) Back - Varies
- (D) Side - 5' - 10'

BUILDING HEIGHT

1-2 Stories

PORCH ZONE

5'-10' from building face



Parking Access



Primary Entrances

NOTE

All setbacks are from property line.

The Hinge

ESSENTIAL ELEMENTS

- Burlington Street should be extended to 72nd to increase connectivity, and Ralston Creek should be restored to create a new park space.
- New buildings should focus retail along 72nd and the newly restored creek.
- The remainder of the buildings should be residential in nature with the goal of creating new “rooftops” and increasing density to support the new retail environment.
- The buildings should have uniform setbacks and enhanced facades along all streets.
- Parking will be located on-street, via alley at the rear of buildings, and at parking structures at the interior of blocks.

The Hinge will likely be redeveloped after Downtown. Because of the larger infrastructure and demolition costs within the neighborhood, larger scale projects are required in order to be viable. Commercial and retail projects, including a neighborhood grocery store, should be focused along 72nd street. Mixed use buildings will look out over Ralston Creek and new park creating a pedestrian oriented mixed-use center. Once again, a diverse mix of residential typologies help create a unique market and build rooftops.

The new park should be actively programmed with a variety of uses to create a regional draw. Flexible lawn space combined with flexible pavilion/amphitheater structures, a destination playground, and interactive water plaza are just some of the uses that can activate the park space and support the adjacent uses.



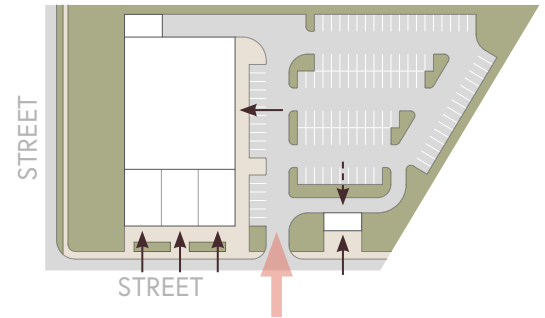
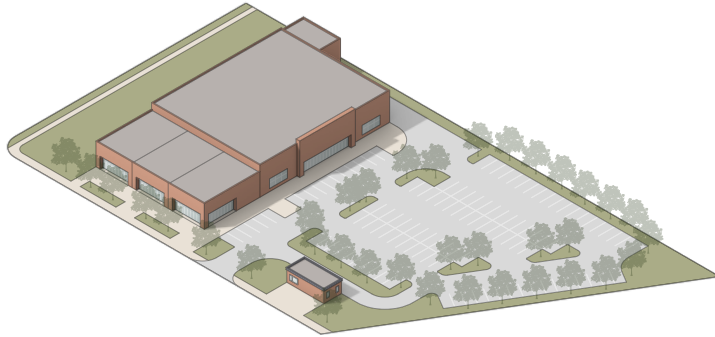
LAND USE:

- Commercial
- Mixed-Use
- Townhomes
- Multi-Family
- Mews Homes
- Parking Structures

SPECIAL REQUIREMENTS:

- Required Storefront / Retail Frontages
- Iconic Architecture
- Enhanced Facades
- Axial Views / Terminated Vistas
- Maintained Viewshed
- Public Art
- Water Feature

Commercial



SETBACKS

- (A) Front - Varies
- (B) Side Street - Varies
- (C) Back - Varies
- (D) Side - Varies

BUILDING HEIGHT

1-2 Stories

CANOPY ZONE

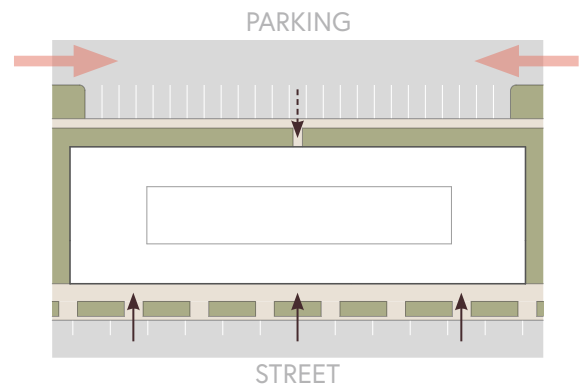
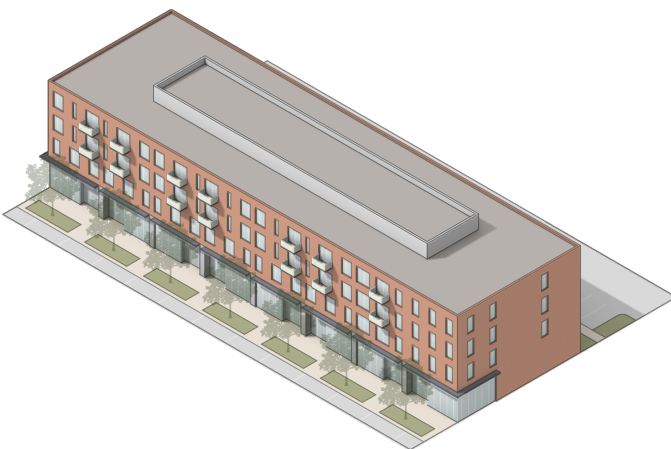
5' - 10' from building face

- Parking Access
- Pedestrian Storefronts
- Drive-Thru Window

NOTE

All setbacks are from the property line.

Mixed-Use



SETBACKS

- (A) Front - 0-5'
- (B) Side Street - 0'-5'
- (C) Back - Varies
- (D) Side - Varies

BUILDING HEIGHT

2-6 Stories

CANOPY / BALCONY ZONE

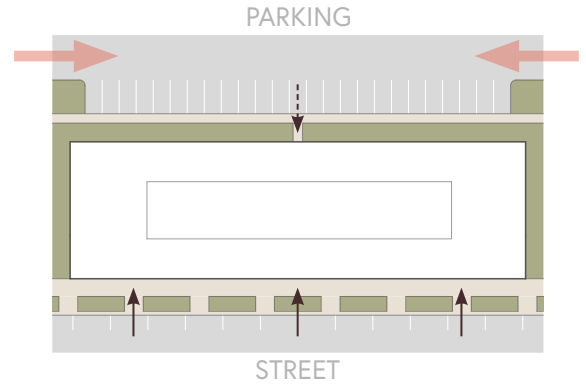
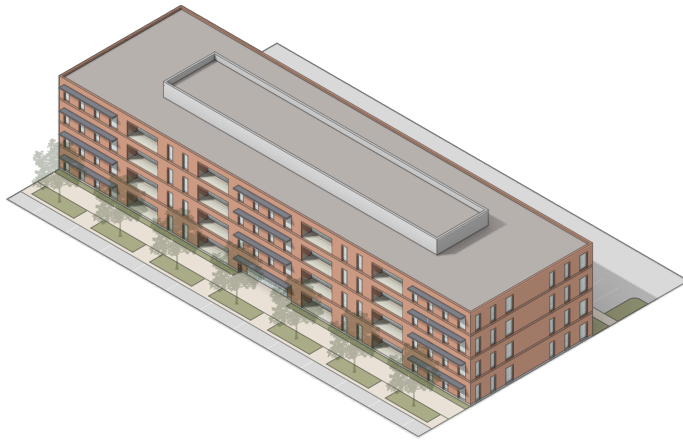
5'-10' from building face

- Parking Access
- Primary Entrances
- Functional Entrances

NOTE

All setbacks are from the property line.

Multi-Family



SETBACKS

- (A) Front - 0-10'
- (B) Side Street - 0'-10'
- (C) Back - Varies
- (D) Side - Varies

BUILDING HEIGHT

3-6 Stories

CANOPY / BALCONY ZONE

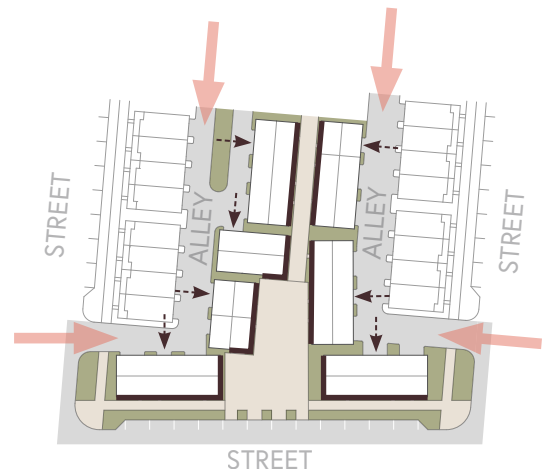
5'-10' from building face

- Parking Access
- Primary Entrances
- Functional Entrances

NOTE

All setbacks are from property line.

Mews Homes



SETBACKS

- (A) Front - 0'-5'
- (B) Back - 5'
- (C) Side -10'

BUILDING HEIGHT

2-3 Stories

CANOPY / BALCONY ZONE

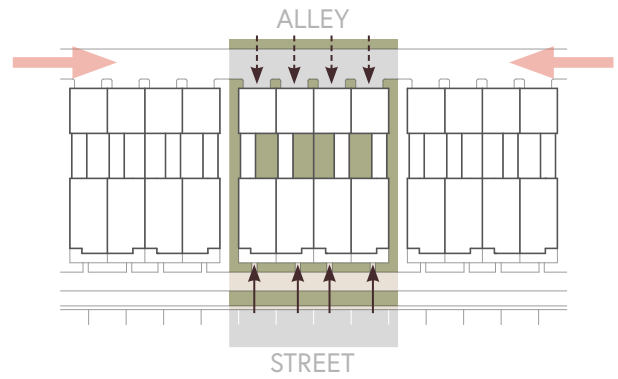
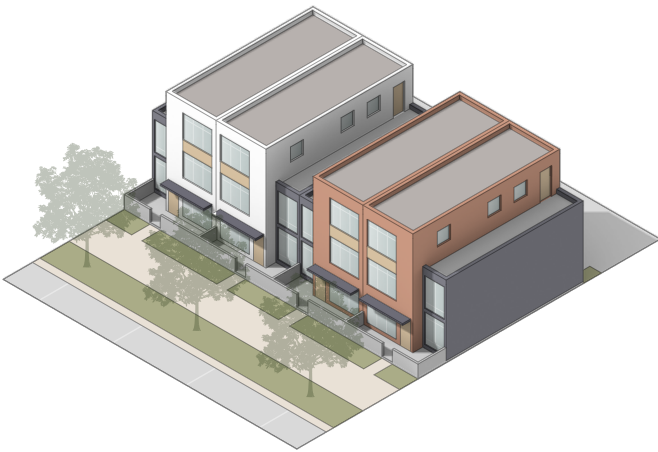
5'-10' from building face

- Parking Access
- Primary Entrances
- Garage Entrances

NOTE

Front setbacks are from front sidewalk / plaza. Back setbacks are from Alley. Side setbacks are from adjacent buildings.

Townhomes



SETBACKS




- (A) Front - 10-15'
- (B) Side Yard - 10'
Minimum
- (C) Back - Varies
- (D) Interior - 0'

BUILDING HEIGHT

2-3 Stories

PORCH ZONE

5'-10' from building face

-  Parking Access
-  Primary Entrances
-  Garage Entrances

NOTE

All setbacks are from property line. Townhomes should have a minimum of three conjoined units with a shared interior wall.

Architectural Guidelines

These guidelines address the architectural design of the various building types that are allowed in the district. These building types include:

- Commercial
- Infill Mixed Use
- Mixed Use
- Multi-Family
- Missing Middle
- Mews Homes
- Townhomes
- Pocket Neighborhood / Cottage Homes

For each building type, the architectural guidelines recommend preferred details relating to a variety of architectural elements, including the following:

- Architectural Style
- Massing and Composition
- Roof Forms
- Entrances
- Building Materials

If a homeowner or developer desires to incorporate a detail on a building that is different than one approved in the following architectural guidelines, the developer and/or architect shall propose that detail to the Architectural Control Committee (ACC), and its use is subject to review and approval by the ACC.

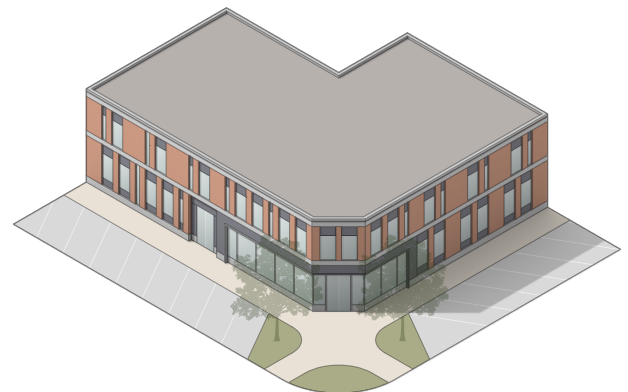
COMMERCIAL

HEIGHT: 1-2 Stories



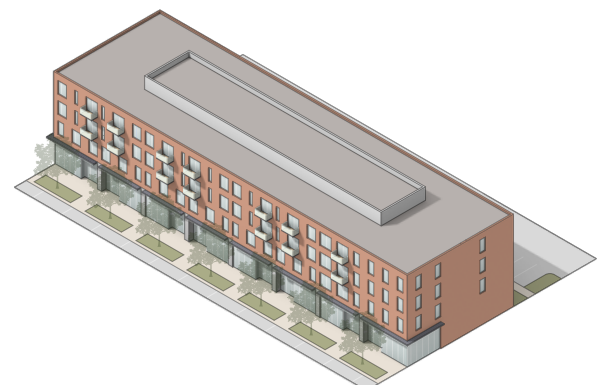
INFILL MIXED USE

HEIGHT: 2-3 Stories



MIXED USE

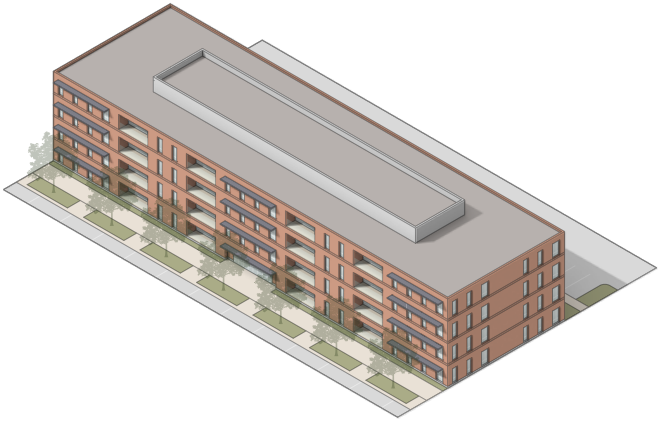
HEIGHT: 4-6 Stories





MULTI-FAMILY

HEIGHT: 4-6 Stories



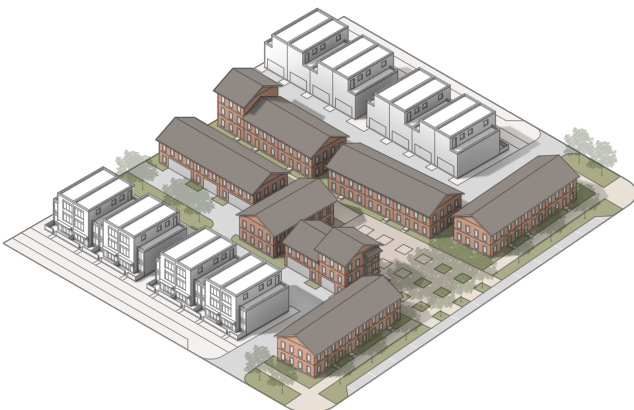
MISSING MIDDLE

HEIGHT: 2-3 Stories



MEWS HOMES

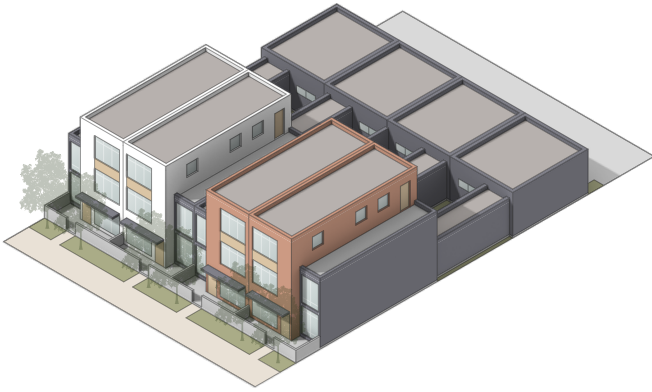
HEIGHT: 2-3 Stories





TOWNHOMES

HEIGHT: 3 Stories



POCKET NEIGHBORHOOD

HEIGHT: 1-2 Stories





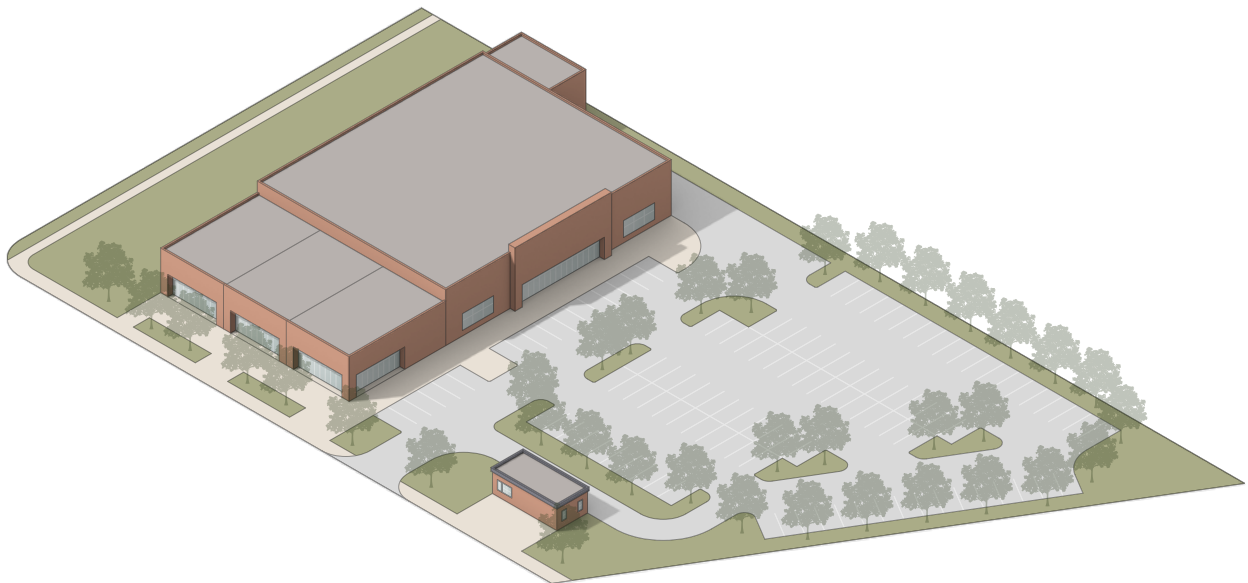
Commercial Buildings

ESSENTIAL ELEMENTS

- Commercial uses come in a variety of sizes and configurations.
- Their design should be contextual with their neighborhood.
- Buildings should front onto and activate the street.
- Parking should be on-street or to the rear of the building.
- Primary entrances should be along their frontage, with convenience entrances to the rear.

Commercial uses are an important component of walkable urban neighborhoods, and come in a number of sizes and configurations. They can range from food trucks, pop-up retailers, small food & beverage kiosks, and home-based businesses to small main-street shops, stand-alone retailers and restaurants, and office buildings. They help create street-level activity and provide amenity value for nearby residents.

In walkable urban districts, commercial uses should be contextual with their neighborhood. The scale and massing of new buildings should respect adjacent uses. Buildings should be designed to front onto and activate the street, with parking provided on-street or in parking lots/structures located to the rear of the buildings. Buildings should have primary entrances along their frontage, with convenience entrances from rear parking areas. Architectural design varies based on use, and can be traditional or contemporary in design.



Architectural Styles



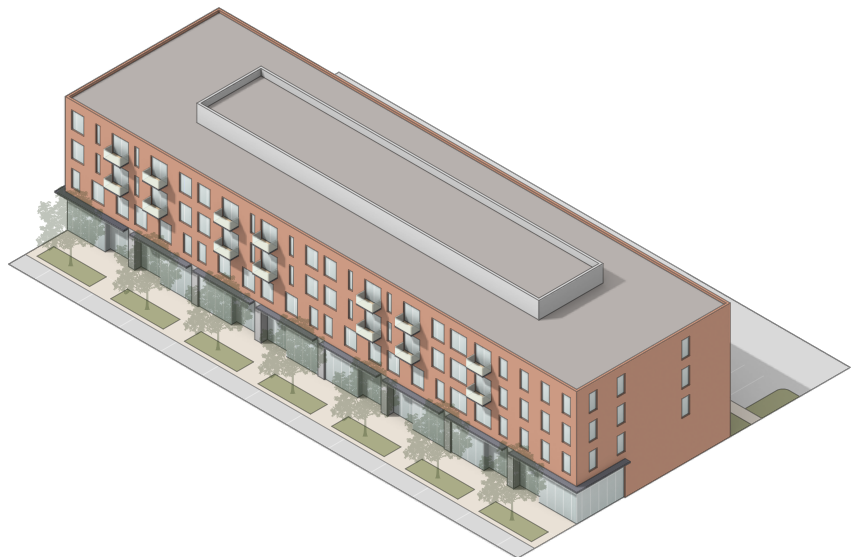
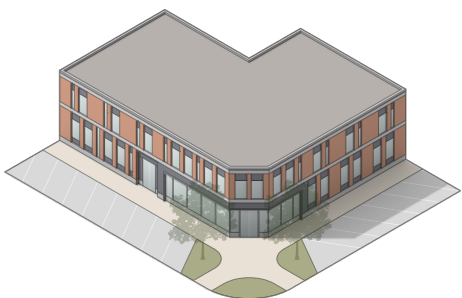
Mixed-Use Buildings

ESSENTIAL ELEMENTS

- Mixed-Use Buildings are vertically integrated with a variety of uses.
- Ground floors shall be designed to contain retail or restaurant type uses to help activate the street and park. Residential uses are appropriate until market demand for retail/restaurants uses is met.
- Buildings must be built “at-grade” with retail storefronts.
- Parking can be provided in a number of configurations.
- Buildings shall be 2 - 6 stories in height, well-detailed, and vertically articulated.
- Horizontally, they shall consist of a base, a middle area, and a top.
- Ground floors shall have facades containing storefronts with significant glazing, canopies, and common lobby entrances for upper level uses.
- Upper levels shall have domestically scaled windows and balconies.

Downtown and The Hinge contain a number of mixed-use buildings, which are vertically integrated with a variety of uses. Ground floors shall contain retail or restaurant type uses to help activate the street and park, while upper floors should contain office and/or residential uses. Mixed-use buildings are urban in nature and built “at grade” with retail storefronts. Parking for mixed-use buildings is provided on-street or in surface parking lots or parking structures located to the rear of the buildings.

Mixed-use buildings shall be 2 – 4 stories in height, well-detailed, and vertically articulated to break up their larger scale. At intervals of 50 to 125 feet, they shall incorporate a change in plane, material, architectural style, window pattern, or height. Depending on height, their horizontal massing shall consist of a base, middle area, and a top. Ground-floors shall have facades containing storefronts with significant glazing, canopies, and lobby entrances for upper floor uses. Fenestration patterns on the upper levels can be larger and grouped together. Architecturally, the design of mixed-use buildings can be either traditional or contemporary in nature.



Architectural Styles

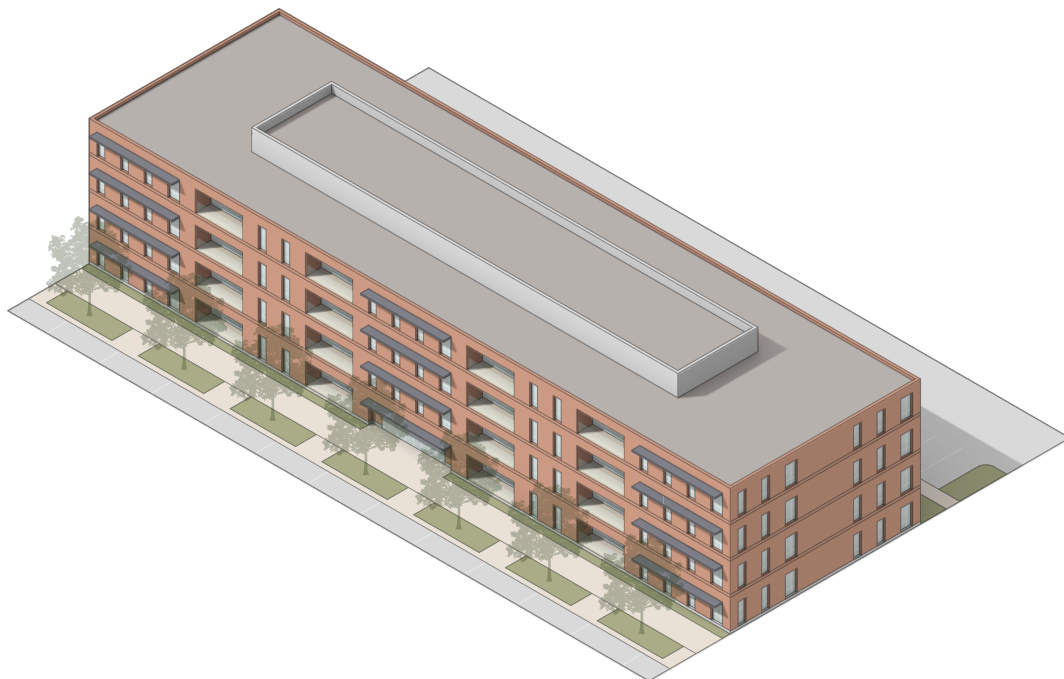


Multi-Family Housing

ESSENTIAL ELEMENTS

- Multi-Family housing provides opportunities for denser owner and renter occupied housing.
- Multi-family units are located in Downtown and The Hinge.
- Buildings can be built “at-grade” or slightly raised above the ground plane for privacy.
- Parking can be provided in a number of configurations.
- Buildings shall be 2 – 6 stories in height, well-detailed, and vertically articulated.
- Horizontally, they should consist of a base, a middle area, and a top.
- Ground floors shall have facades with residential entrances, windows, and/or common lobby entrances.
- Upper levels shall have domestically scaled windows and balconies.

Multi-family buildings shall be 2 – 6 stories in height, well-detailed, and vertically articulated to break up their larger scale. At intervals of 50 to 125 feet, they shall incorporate a change in plane, material, architectural style, window pattern, or height. Depending on height, their horizontal massing shall consist of a base, middle area, and a top. Ground-floors shall have facades with residential entrances, windows, or common lobby entrances. Buildings with podiums of indoor parking are discouraged. Fenestration patterns on the upper levels should have domestically scaled windows and balconies. Architecturally, the design of multi-family housing can be either traditional or contemporary in nature.



Architectural Styles



Missing Middle Housing

ESSENTIAL ELEMENTS

- Missing middle housing was prevalent in most urban neighborhoods prior to the 1940's.
- Typologies are typically compact in nature, with footprints not larger than a single-family home.
- Buildings can easily be distributed throughout a block or a neighborhood.
- The design of missing middle typologies is simple and should contain finer-grained details.
- They are typically 2 – 4 stories in height and can be either contemporary or traditional in design.

Missing Middle housing provides for a diverse range of housing options, such as duplexes, fourplexes, and courtyard apartments that fit seamlessly into low-rise walkable urban neighborhoods and which support walkability, local retail, and public transit. They provide solutions along the spectrum of affordability to address the mismatch between the existing housing stock and shifting demographics, combined with a growing demand for walkable neighborhoods.

Missing Middle housing is not a new type of housing. It is a range of residential building typologies that exists in cities and towns throughout the country, and was a fundamental building block of most pre-1940s neighborhoods. Building footprints are typically not larger than a single-family home, which makes them easy to integrate into existing neighborhoods, and they serve as a way to transition into higher density and main street contexts.

Missing middle housing types can easily be distributed throughout a block or neighborhood. They are often placed on the end-grain of a block, and can be used to help transition a single-family neighborhood into a commercial corridor or with higher-density housing. Missing middle housing should be simple in design, but contain finer-grained details. Building typologies typically range from 2 – 4 stories, and can be either traditional or contemporary in design.



Architectural Styles



Mews Homes

ESSENTIAL ELEMENTS

- Mews homes are derived from humble beginnings, but are now much sought-after due to their many benefits.
- Mews homes are compact in nature, with simple design and thoughtful details.
- The homes longer facade should be oriented along the pedestrian walkway, providing many benefits.
- Mews homes are typically 2 – 3 stories in height and either located at-grade or raised slightly with a small stoop.
- Homes can be either contemporary or traditional in design.

The Hinge Neighborhood contains a small neighborhood of Mews Homes. Mews Homes are derived from the rows or courtyards of stables and carriage houses built along the humble service roads that were located behind large city houses in 18th and 19th century Great Britain. Over time, the stables along the mews were replaced with residences that catered to a variety of demographics and lifestyles.

Today, mews neighborhoods are much sought-after due to their safe and virtually traffic-free environment. Tucked away from the bustle of city life and fronting onto pedestrian-only walkways, mews homes are typically part of a small neighborhood community that is within easy walking distance of parks, shops, restaurants, and bars.

Mews homes should be compact in nature and simple in design, with thoughtful details. The home's longer façade should be oriented to the walkway, which helps maximize natural light, increase privacy, and reduce potential noise. Units should be provided with small private rear or side yards and a garage accessed by an alley. Mews homes are typically 2 – 3 stories, and placed at-grade or raised slightly with a small stoop. Architecturally, mews homes can be either contemporary or traditional in design.



Architectural Styles

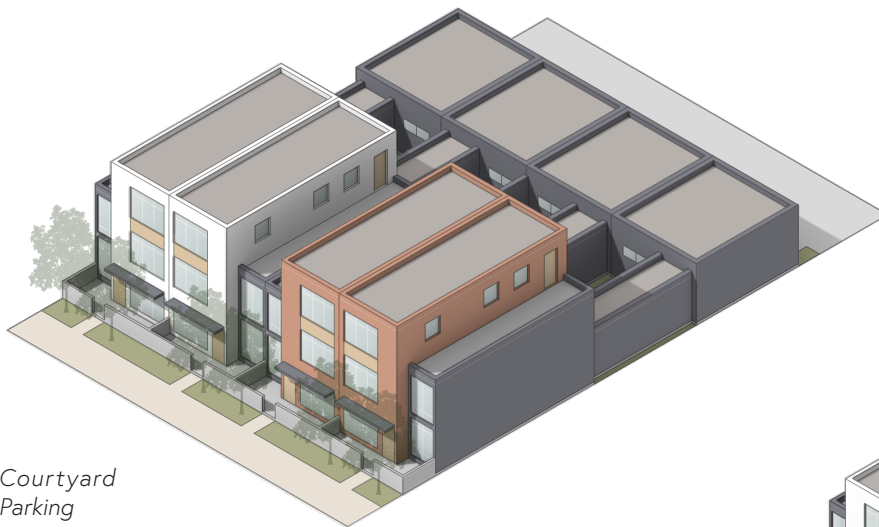


Townhomes

ESSENTIAL ELEMENTS

- Townhomes shall be urban in nature, with front stoops and rear-loaded garages.
- Townhomes shall be well-detailed, have front stoops, and be 2 – 3 stories in height.
- The main body massing of each individual unit shall be articulated, with differences in window patterns, height and/or materials.
- Townhomes can be either traditional or contemporary in design.

The plan incorporates townhomes in a variety of locations. These townhomes are urban in nature, with front stoops and rear-loaded garages. As with the cottage homes, these homes shall be well detailed, have front stoops (be slightly raised above the ground plane), and be 2 – 3 stories in height. The main body massing of each unit shall be articulated to represent the individual nature of each home, with differences in window patterns, height, and/or materials. Architecturally, the design of the townhomes can be either traditional or contemporary in nature.



*Courtyard
Parking*



*Tuck-under
Parking*

Architectural Styles

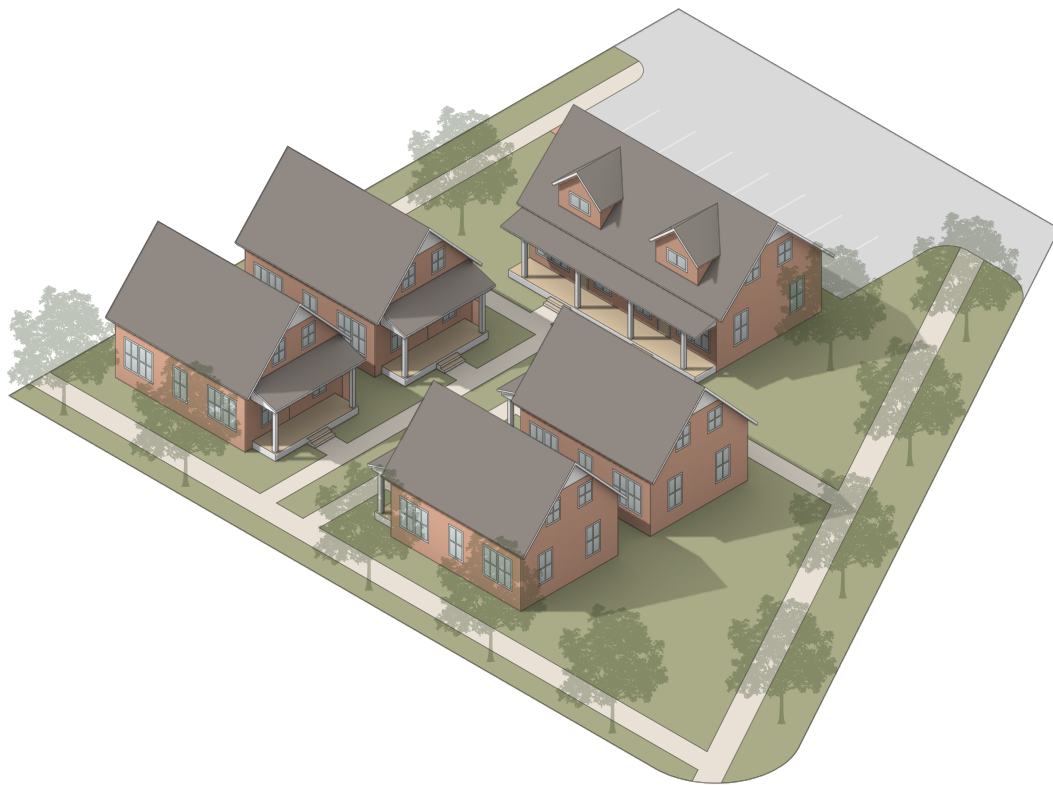


Cottage Homes / Pocket Neighborhoods

ESSENTIAL ELEMENTS

- The district accommodates cottage homes within pocket neighborhoods.
- All cottage homes should be rear loaded.
- Homes should be well-detailed, have usable front porches, and be 1 - 2 stories in height.
- Approved styles include colonial, craftsman, prairie, ranch, tudor, cottage, farmhouse, and contemporary.

The district contains opportunities for cottage homes in key strategic locations. Cottage homes are small, but highly detailed single family homes that are located within pocket neighborhoods. In all cases, cottage homes should be rear-loaded. All new homes within the district shall be well-detailed, with usable front porches and typically one or two stories in height. Homes within the district shall be designed to embody a regional vernacular, drawing on styles that are common in mid-sized communities throughout the central Great Plains. This includes traditional styles such as colonial, craftsman, prairie, ranch, tudor, cottage, and farmhouse, as well as newer styles such as contemporary.



Architectural Styles



Colonial



Farmhouse



Contemporary



Prairie



Cottage



Ranch



Craftsman



Tudor

Roof Forms

SLOPED ROOFS

Sloped roof forms are appropriate for single family, townhome, missing middle, mews, and some multi-family residential building typologies. Sloped roofs shall be built with at least a 4:12 pitch and be covered with shingles or standing seamed metal panels. Sloped roofs:

- Reliably and economically shed rain and snow to the gutter line.
- Include a variety of styles, including gable, shed, and hip forms.
- Can include deep overhangs, which protect buildings from sun and precipitation while also acting as an expressive design element.
- Are well-suited to small and medium scale building types.
- Should include fascia's with minimal width.
- Should have soffits that slope with the roof pitch and express structural elements like rafters.



FLAT ROOFS

Flat roof forms are appropriate for contemporary single-family, townhome, multi-family, mixed-use, and office/commercial related building typologies. Flat roofs are covered with an impervious membrane and have a minimal slope to allow for drainage. Flat roofs:

- Allow for a larger, more flexible floor plate under a single roof form.
- Allow building style to be expressed through the projection of a vertical parapet wall or thin horizontal overhang.
- Provide opportunities for additional habitable outdoor terrace space.
- Provide an opportunity to vary the parapet height to create vertical forms or a hierarchy among facade bays.
- Must have appropriately scaled projecting overhang depth for the size and scale of the building.
- Can incorporate green roofs



Entrances

RESIDENTIAL

Residential units shall provide semi-private zones near the front door which separate the residence from the street and provide outdoor living space. Residential entrances shall:

- Create privacy through distance, change in elevation, or screening (landscaping, fencing, etc.).
- Provide a protected place for socializing with neighbors.
- Vary in scale from at-grade paved area or small stoop to a large covered porch or a raised landscaped terrace.
- Take advantage of corner locations for opportunities to wrap porches around the structure for side entrances.
- Have coordinated railing design with the architecture of the rest of the residence.
- Provide an all-weather covered area at the front door.



STOREFRONTS

Mixed-use and Commercial Buildings should incorporate a series of architectural bays that serve as entrances to a building lobby and/or ground level retail bays. Storefronts should:

- Be clearly identified as an entrance on a larger building facade.
- Provide all-weather protection for pedestrians.
- Maximize visibility from the street into the lobby or retail space.
- Utilize transparent glass at retail storefronts and entrance lobbies.
- Utilize a canopy, awning, similar cover at the entrance doors.
- Consist of a consistent scale and composition as the rest of the building/facade.
- Coordinate materials and color with the design of the building/facade.



Building Materials

Buildings will be constructed of high quality and long-lasting materials. These materials will include a wide range of options, and will consist of Primary Materials, Secondary Materials, and Detailing. Approved materials include the following:

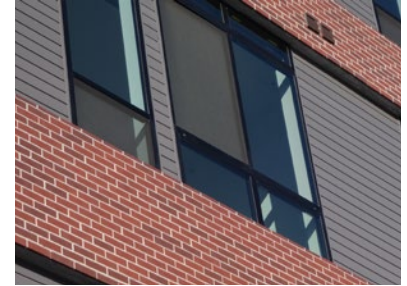
APPROVED MATERIALS:

- Cladding: Masonry, cast stone, precast stone, real stone, GFRC, metal panels, glass and/or wood/composite board siding
- Roofing: Flat roofing systems, standing seam roofing, metal shingle, composite shingle (residential only), masonry, and precast parapets
- Curtain Walls: Aluminum framing system with clear glazing, spandrel glass, metal panels
- Windows: Aluminum window systems, coated steel window systems, clear glazing with "E" coating, spandrel glass, metal panels
- Trim: Stone and cast stone string courses, lintels, and cornices; composite
- Columns: Concrete, precast, GFRC, metal, wood/composite board
- Balconies: Metal, concrete, or wood with metal or glass railing systems
- Soffits: Concrete, stucco, metal, or fiber-cement
- Awnings: Canvas, metal, or glass

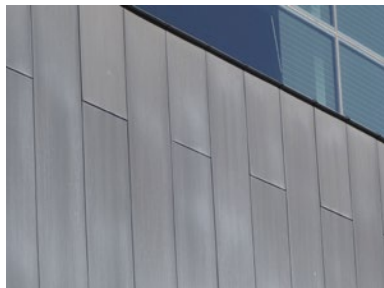
PRIMARY MATERIALS



Glass Curtain Wall



Windows/Glazing



Metal Panel



Cut Stone



Masonry



GFRC Panel



*Cement Fiber Board Siding
(For Single-Family Only)*

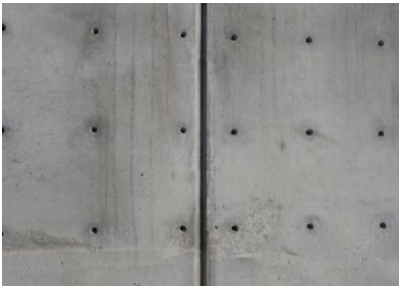
SECONDARY MATERIALS



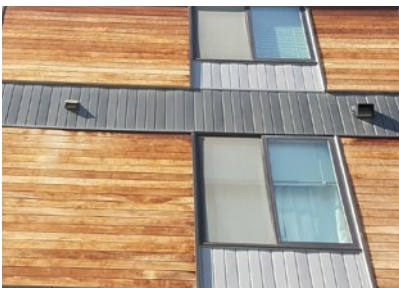
Rough Stone



Architectural, Corrugated Metal Panel Systems



Concrete



Wood/Composite Boards

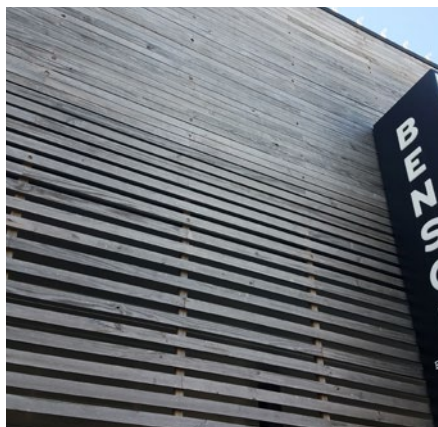
DETAILS



Sun Screen



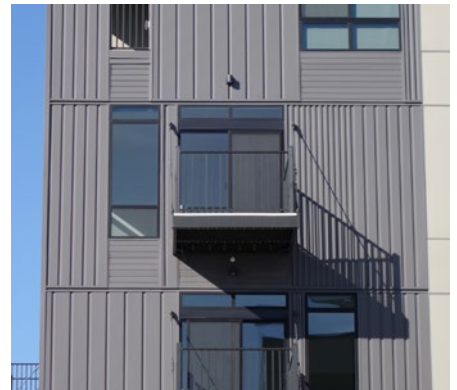
Glazing



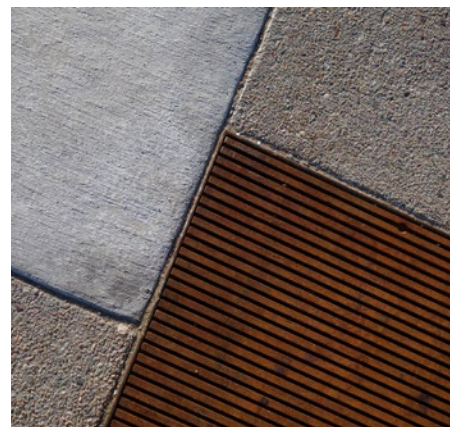
Louver and Screen



Soffit and Canopy



Balcony

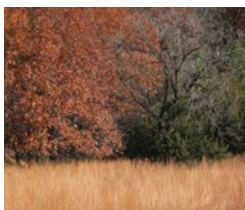


Hardscape

Landscape Guidelines

ESSENTIAL ELEMENTS

- Stylized native planting and paving/building materials.
- Abundant landscaped islands within surface parking lots.
- Tree and shrub plantings around parking structures that soften the facades and reduce scale.
- Office and mixed-use buildings landscaped with trees and larger shrub massings to help scale structures to a pedestrian scale.
- Tree-lined service drives and sidewalk connections.
- Heavy tree and shrub plantings to screen all service areas.
- Food outlets and restaurants with outdoor dining areas that include ornamental fencing, planters or pots, and overhead coverings appropriate to the building style.



Regional Aesthetic

PUBLIC OPEN SPACE PLAN

Landscape design for public open space provides an opportunity to return to a regional design aesthetic. This aesthetic is rooted in the native prairies, savannas, and riparian woodlands that once flourished in the area, and consists of a palette of native trees, shrubs, grasses, and wildflowers planted in a stylized representation of these ecosystems, and interspersed with more traditional landscaped and manicured areas in appropriate locations. The goal is to create an aesthetic that is visually pleasing, biologically diverse, and that provides habitat for the native flora and fauna of the region. This aesthetic will “restore” portions of the landscape to its pre-development condition, yet accommodate current development and market norms.

This stylized aesthetic, and accompanying architecture, will not only be regionally appropriate and visually attractive, it will also help re-establish the site’s original sense of place. The new landscape will provide a number of additional benefits, including restoring the landscape so that it provides new and enhanced habitat corridors through the site, and biologic diversity benefiting the region’s flora and fauna. In addition, the site will be significantly more sustainable than the typical high-input landscape common throughout the region. Over time, maintenance inputs and costs for watering, mowing, and upkeep will be reduced as the native plant palette becomes fully established.



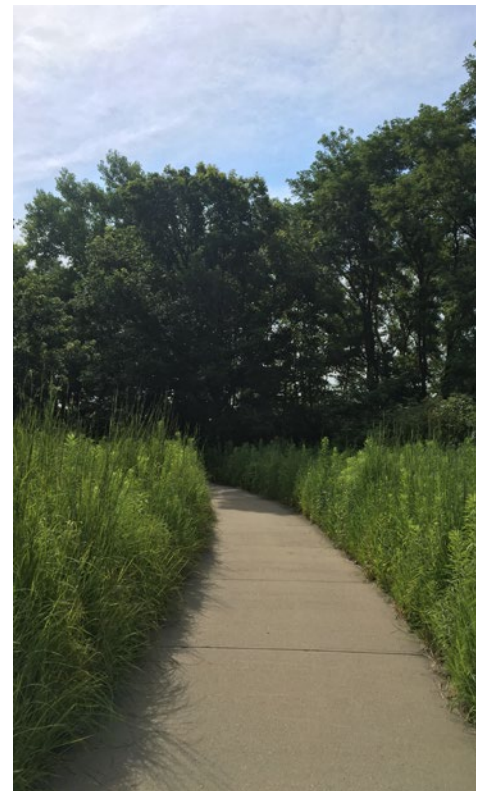
Native plantings within a small community park



Streetscape along main street frontage



Homes fronting onto formal green



Trail running through naturalized landscape

Landscape Patterns For Private Development

ESSENTIAL ELEMENTS

- Stylized native planting and paving/building materials.
- Abundant landscaped islands within surface parking lots.
- Tree and shrub plantings around parking structures that soften the facades and reduce scale.
- Mixed use buildings landscaped with trees and larger shrub massings to help scale structures to a pedestrian scale.
- Tree-lined service drives and sidewalk connections.
- Heavy tree and shrub plantings to screen all service areas.
- Food outlets and restaurants with outdoor dining areas that include ornamental fencing, planters or pots, and overhead coverings appropriate to the building style.
- Apartment Buildings and townhomes with appropriate landscape areas along street frontages and rear parking areas
- Clear and easy connections to public sidewalks and the regional trail system
- Dedicated vehicular drop-off and pedestrian entrances with specialty paving, site amenities, and a detailed landscape design for each office or commercial building

PRIVATE LANDSCAPE PATTERNS

Successful mixed-use districts and residential neighborhoods present a cohesive design vision among not only the architecture of buildings, but their landscape elements as well. The landscape on private lots will employ tenants of the aesthetic established for public open spaces while emphasizing the style and distinctive elements of their structures. This balance and coordination amongst the various design elements will create an environment attractive to visitors and residents of the neighborhoods. The stylized landscape aesthetic, and accompanying architecture, will not only be regionally appropriate and visually attractive, it will also help re-establish the site's original sense of place.



Native grasses in formal planting areas



Examples of manicured prairie aesthetic





Native landscaping in a variety of applications

Wildflower and native grass massings

Downtown Landscape

ESSENTIAL ELEMENTS

- Stylized native planting and paving/building materials.
- Abundant landscaped islands within surface parking lots.
- Mixed-Use and Multi-Family buildings landscaped with trees and larger shrub massings to help scale structures to a pedestrian scale.
- Tree-lined service drives and sidewalk connections.
- Heavy tree and shrub plantings to screen all service areas.
- Food outlets and restaurants with outdoor dining areas that include ornamental fencing, planters or pots, and overhead coverings appropriate to the building style.
- Apartment buildings and townhouses with appropriate landscape areas along street frontages and rear parking areas.
- Clear and easy connections to public sidewalks and the neighborhood trail system.

Landscapes within Downtown will have a manicured prairie aesthetic. Urban form will be more structured within these areas, with plant material selections trending more towards natives, but also including introduced perennials, shrubs, and trees.

Due to the nature of lot frontages within these neighborhoods, planting zones will be more linear in nature, and often oriented towards the street. Planters, pots, and hanging baskets are encouraged. Care must be taken, though, so that plantings do not block retail storefronts. Native and introduced grasses, sedges, perennials, shrubs, and trees are appropriate. Specialty paving is encouraged to help break up large hardscape areas, as well as to help add texture and character to seating areas, walkways, and small plazas.

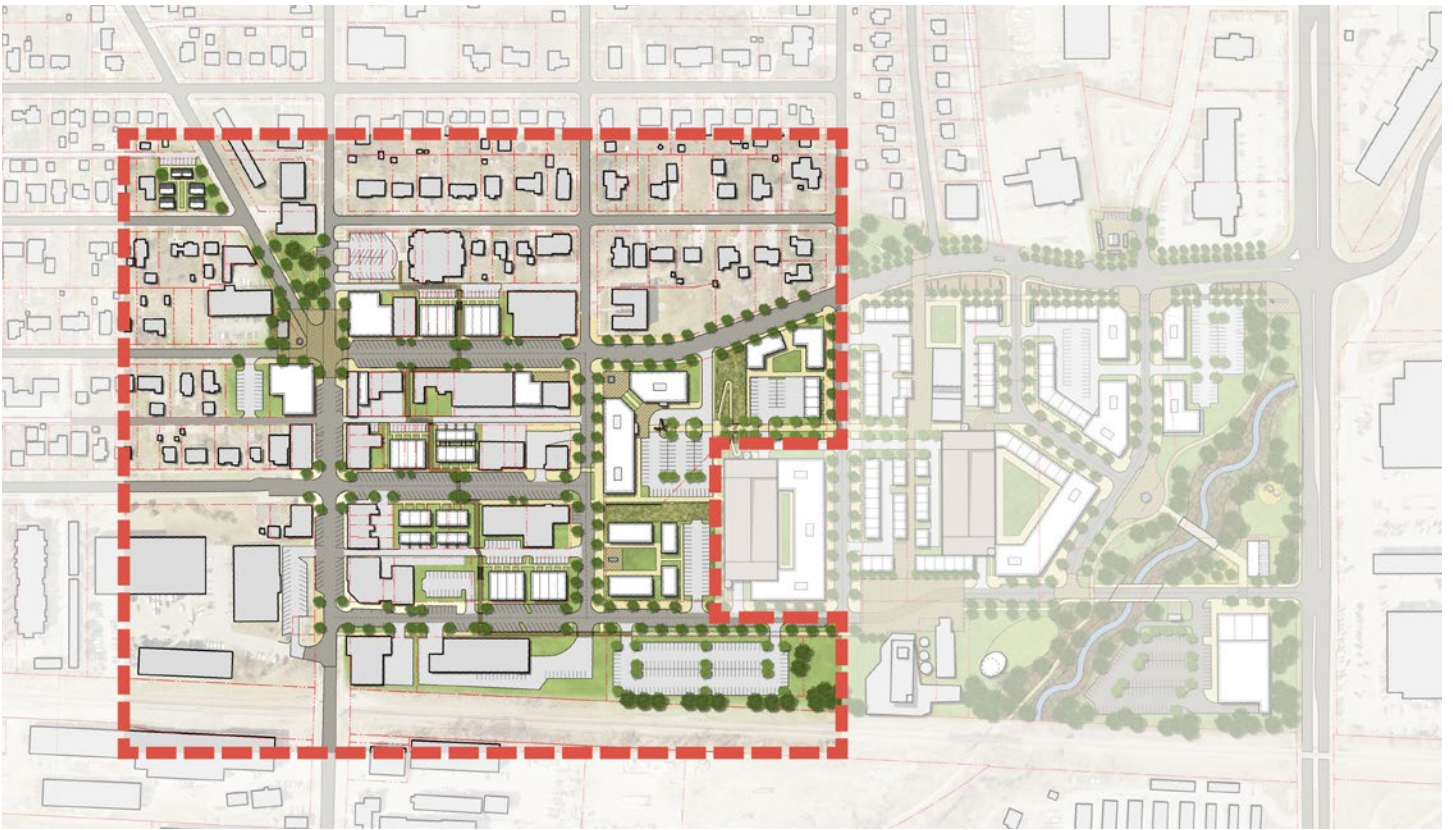
Mid-block interior parking lots and landscape zones shall be well landscaped for visual interest, to help reduce the scale of adjacent mixed-use buildings, and to help limit the potential heat island effect of large surface parking lots. Connections between parking lots and retail street frontages shall be well landscaped, but maintain clear sight lines for enhanced way-finding and safety. Landscaping should be designed to help guide vehicular and pedestrian circulation into and out of each block.



Pedestrian zone in mixed-use district



Parking lot island landscaping



The Hinge Landscape

ESSENTIAL ELEMENTS

- Stylized native planting and paving/building materials.
- Abundant landscaped islands within surface parking lots.
- Mixed-Use and Multi-Family buildings landscaped with trees and larger shrub massings to help scale structures to a pedestrian scale.
- Tree-lined service drives and sidewalk connections.
- Heavy tree and shrub plantings to screen all service areas.
- Food outlets and restaurants with outdoor dining areas that include ornamental fencing, planters or pots, and overhead coverings appropriate to the building style.
- Apartment buildings and townhouses with appropriate landscape areas along street frontages and rear parking areas.
- Clear and easy connections to public sidewalks and the neighborhood trail system.

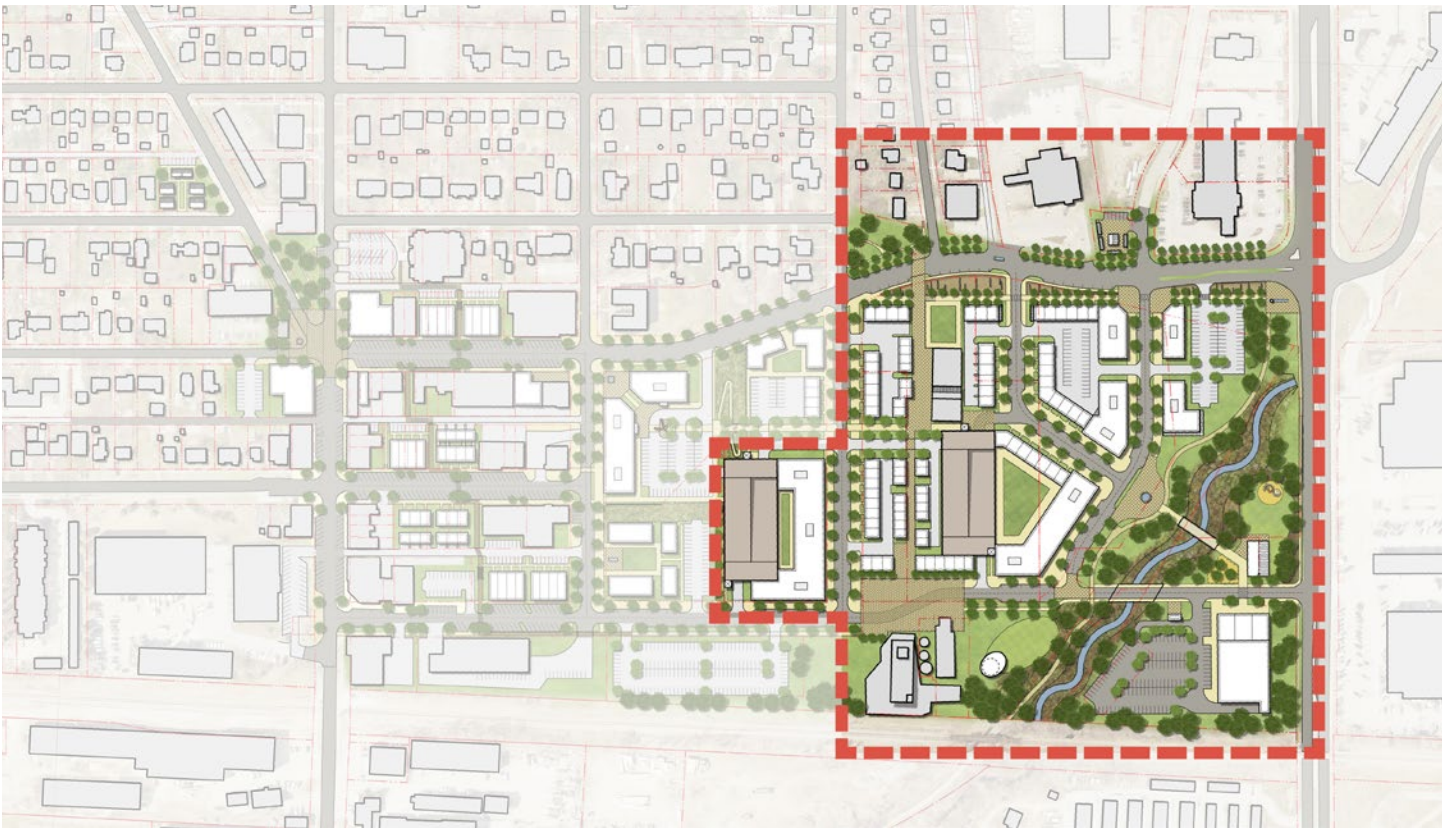
Landscapes within the Hinge will contain a variety of trees, shrubs, perennials, grasses, and sedges. Native varieties are strongly encouraged, but introduced varieties are allowed. Grasses and / or sedges should be used as matrix plants, and interspersed with perennials, shrubs, and/or trees. Landscaping shall be in scale with a lot's respective architecture and shall maintain consistency along respective block frontages. Visibility to and from the public right-of-way is encouraged, and good site lines should be maintained for safety and security. Elsewhere, strong and well-landscaped pedestrian connections to public open spaces shall be provided. The use of specialty paving materials for sidewalks, patios, and small pedestrian gathering spaces is encouraged. Where topography necessitates, large massings of groundcover and/or masonry retaining walls are encouraged.



Parking structure with retail



Base frontage landscaped with native grasses



Examples of formal and naturalized landscaping

Building and Lot Landscape Guidelines



Landscaped alley within mixed-use district



Rear-yard landscape with detached garage



Mixed-Use frontage landscape zone

LANDSCAPE ZONES

Residential and commercial lots are typically divided into three different landscape zones: front yards, rear yards, and side yards. Each of these zones serves a different function, but should have a similar aesthetic. Front yards are the “public” space of a building’s lot, and help a building embrace the street and welcome and/or draw visitors to the front door. As such, front yards should contain a variety of plant species and sizes, and “frame” views of their respective building. Rear yards are the “private” domain of a lot, thereby offering more flexibility and variety in terms of landscape options. Side yards separate buildings from one-another, yet also serve as the “glue” that ties adjacent buildings together. As such, there should be consistency in side yard landscaping in order to provide a uniform and cohesive aesthetic. Where buildings are close; however, screening will be important. The landscape design and plant palette should build off of the character of the neighborhood and the architecture of the buildings. Variety and texture in hardscape areas is encouraged, and a mix of trees, shrubs, perennials, and grasses/sedges is appropriate.



Front yards of small single-family cottages



Typical townhouse front landscape



Multi-family frontage onto trail and greenway



Well landscaped alley servicing cottage homes



Building and Lot Landscape Guidelines

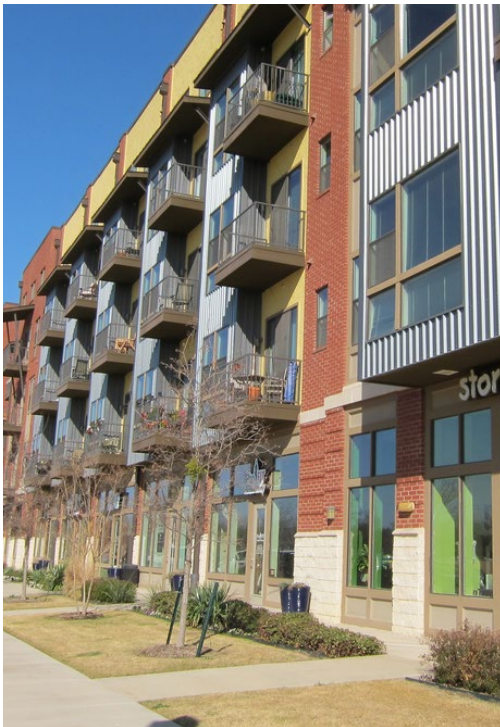
ESSENTIAL ELEMENTS

- May contain low fence, walls, or hedges
- Contain massings of native grasses and wildflowers with accent evergreen and deciduous plantings
- Foundational plantings anchor front facades and porches
- Distinct private lawn areas separated from public landscape
- Well-defined paths leading from sidewalks to entryways
- Porches and entryways raised 1.5 to 2 feet above finished grade

FRONT YARD ELEMENTS

The front yards of buildings will be the defining landscape element of the neighborhoods. Specific wall and planting requirements can be found on ensuing pages of the guidelines.

Walls, fences, and hedges ranging from 24 to 36 inches in height may define the transition from the street to the front yard. Walls shall be brick or stone. Fences shall be of a natural material such as painted wood or wrought iron and shall respond to the architectural character of the house. Although permitted and encouraged on all lots, low front yard retaining walls may be required on some lots for grading purposes. Front yards act as an important transition zone between the private residences and public spaces, such as sidewalks and neighborhood greens, and will have their aesthetic designed accordingly. Use of native trees, shrubs, grasses, and flowering perennials is highly encouraged.



Multi-Family front-yard landscape



Typical front yard condition for cottage homes in a pocket neighborhood



Landscape condition along multi-family frontage



Front landscape within minimal setback



Frontage along multi-family building



Landscape along front facades of townhouses



Consistent landscape and porch frontages along row of townhouses

Building and Lot Landscape Guidelines

CHARACTERISTICS FOR SIDE-STREET AND REAR YARDS

- Side and rear facades of buildings should include landscaped foundational beds.
- Fences, walls, and plant borders should be utilized along side and rear property lines.
- Rear yards adjacent to public open space should include transparent fencing or landscaping.
- Side-street frontages shall continue design elements from front yards.

SIDE-STREET AND REAR YARD ELEMENTS

New development will have their parking areas located to the rear of lots or in the interiors of blocks. Some areas will back onto public open spaces and regional trail greenways. Thus, it will be important that the detailed landscapes of the front yards of lots be carried to the side- and rear-yards as well. Some level of transparency between rear yards and adjacent open spaces is required.

Parking areas, whether they be surface lots or alley-accessed garages, shall include ample landscaping to soften the hardscape areas. Vehicle and pedestrian access points into and out of individual lots along back or side yards shall include visual design elements emphasizing them, yet maintain sight lines for wayfinding and safety purposes.

Rear yards adjacent to public open areas shall employ heavy landscaping and or decorative fencing consistent with other public spaces. Back and side fence lines and border landscaping shall abide by the guidelines noted above and on the ensuing pages.



Trees lining parking structure and service drive



Landscaped alley along rear lot line



Rear landscaping for townhouses



Side-yard landscape along public path



Side-yard landscaping and fence



Landscape feature at rear of apartments



Side-street landscaping adjacent to townhouse with detached garage



Expansive native landscape adjacent to an office building



Landscape within alley for townhome lots

Building and Lot Landscape Guidelines

ESSENTIAL ELEMENTS

- Utilize pavement material changes to accent special areas.
- Use of permeable pavement in large hardscape areas, like surface parking lots, that reduces runoff is encouraged.
- Combine paving materials for added texture.
- Provide handicap accessible pavement in all public areas.
- Paths connecting to the regional trail network should be concrete, textured permeable pavement, or crushed aggregate.

PAVING AND TERRACE MATERIALS

Like the landscape, the paving materials utilized should tie into the natural aesthetic. Crushed stone and clay pavers are two paving types comprised of native materials. Areas of special significance or designated for special use should incorporate decorative pavement. The table below identifies the permissibility of decorative paving within the various districts.

| PAVEMENT TYPE | DOWNTOWN | THE HINGE |
|----------------------|----------|-----------|
| Decorative Concrete | P | P |
| Clay Pavers | P | P |
| Concrete Pavers | P | P |
| Natural Stone Pavers | CP | P |
| Crushed Aggregate | CP | P |
| Permeable Paving | CP | P |

P = Permitted NP = Not Permitted CP = Conditionally Permitted

EXAMPLES OF SUITABLE PAVER TYPES FOR STREETSCAPE USE



Stamped pattern in concrete



Cobble stone paving



Clay pavers



Colored concrete trail



Standard gray sidewalk between allee of trees



Two types of permeable pavers



Clay pavers at streetscape node



Crushed aggregate paving at small urban park

Building and Lot Landscape Guidelines

ESSENTIAL ELEMENTS

- Fence are allowed only in cottage neighborhoods.
- Provide fencing, walls, or plant borders to provide a separation of public and private space as well as between adjacent lots.
- Fence and wall materials can include painted wood, ornamental metal, stone, and/or brick.
- Fence heights range from 24 inches to 60 inches.
- Fences along open spaces must be at least 50% transparent.
- Elsewhere, fences and screen walls can be 100% opaque up to 48 inches high and 50% opaque from 48 inches up to 60 inches high.
- Freestanding/screen wall height varies between 18 inches to 30 inches.
- Retaining walls shall not exceed 48" in height. In areas where grades dictate taller features, terraced walls will be utilized.
- Fencing and walls on same street shall utilize similar materials and design. Chain-link and board-on-board fencing will not be permitted.



Front yard fence in front of cottage home

FENCING, WALLS, AND PLANT BORDERS

Fencing, walls (retaining or screen), and plant borders provide opportunities to extend a building's architecture into the landscape. They also help define exterior spaces and guide movement. Within new developments, fences and walls, constructed of native building materials, will provide separation between public and private spaces and where permitted, between lots. Wherever located, fences, walls, and plant borders shall not impede visibility into or out of a space, thus avoiding issues with safety and/or security.

Fences are only allowed in cottage pocket neighborhoods. It is intended for fences to be at least 50% transparent along public open spaces so that the open space benefits of these features can be enjoyed by adjacent property owners. Mixing fence materials will add visual interest along a shared fence line. To avoid having screen walls detract from the adjacent landscape and cause security concerns, they should be 50% opaque over 48 inches high. In addition, along a given street corridor, alley, or trail greenway, fences and walls will be constructed of consistent materials under a common design.

The existing topography may require retaining walls to be utilized on some lots. These walls shall be visually appealing and scaled appropriately. The impact of these vertical features shall be minimized, with a height limit of 48" for individual walls. Terraced walls shall be utilized in areas where grades require taller features.

Plant borders can consist of evergreen or deciduous shrubs or native grasses. Plant borders shall be no taller than 48 inches in height. When located along a structure or adjacent fence or wall, plant borders can help soften the vertical surface or scale-down a facade.



Front yard fence in pocket neighborhood



Stone wall in front yard



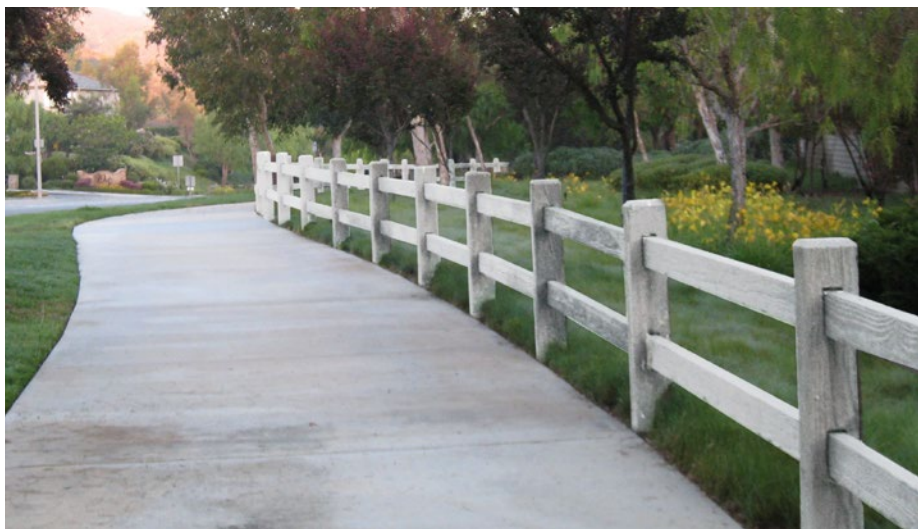
Shrub border with stone pillars and wood gate



Stone screen wall with decorative metal gate



Fence and shrub border along commercial frontage



Composite "split-rail" fencing along greenway



Stone and steel accent wall



Terraced stone retaining walls

Building and Lot Landscape Guidelines

ESSENTIAL ELEMENTS

- Parking lot landscape design should encourage access to primary building entrances over convenience entrances.
- Pathways leading from parking areas to public sidewalks and regional trail network shall be well-defined with landscaping.
- Visibility and sight lines shall not be impeded by landscaping.
- Surface parking lots shall incorporate shade trees and heavily-landscaped islands/medians.
- Perimeter of parking areas shall be heavily-planted with screen plantings where appropriate.
- Alleys shall include ample landscaping along back property lines.

PARKING AREA LANDSCAPE ELEMENTS

It will be important for the parking areas to be well-landscaped with native plantings consistent with the overall aesthetic of the district. Surface parking lots shall include islands with heavy landscaping and canopy-forming shade trees. The perimeter of parking areas shall be lined with vegetated buffers and fencing.

Surface parking lots shall be located on the interior of blocks behind adjacent buildings. All parking areas shall have pathways easily-accessed and well-defined by trees and understory plantings connecting to sidewalks along public streets or the regional trail system. Landscaping around parking areas shall not impede visibility and sight lines that would increase the chance of pedestrian-vehicle conflicts.

The majority of residences will be alley-loaded, with private parking to the rear of lots. Alleys shall include landscaping along the back property lines to soften the utilitarian nature of the alley.



Screened rear parking at mixed-use building



Example of well-landscaped surface parking lot



Surface parking lot located on interior of block, to the rear of mixed-use buildings



Plantings along edge of surface parking lot



Well-landscaped island in surface parking lot



Bioswale within parking lot median



Garage softened by landscape and topo



Rear landscape between parking lot and multi-family building



Landscaped pedestrian sidewalk through parking lot

Building and Lot Landscape Guidelines

ESSENTIAL ELEMENTS

- Native planting material that requires little-to-no irrigation upon establishment.
- Bioswales and detention basins located in low areas to capture and treat runoff as well as to serve as visual amenities.
- Surface parking lots to drain to bioretention planters located in internal islands or adjacent landscape areas.
- Runoff from building roofs and terraces captured in bioretention areas.
- Permeable paving utilized in large hardscape areas to lessen site runoff.

SUSTAINABILITY ELEMENTS

The natural aesthetic will be respectful of its prairie context. Sustainability will be enhanced as the natural systems on-site will not only be represented, but enhanced. Natural drainage ways and detention areas will be protected from development. Native plant materials, which require little-to-no irrigation upon establishment, will be emphasized throughout the site.

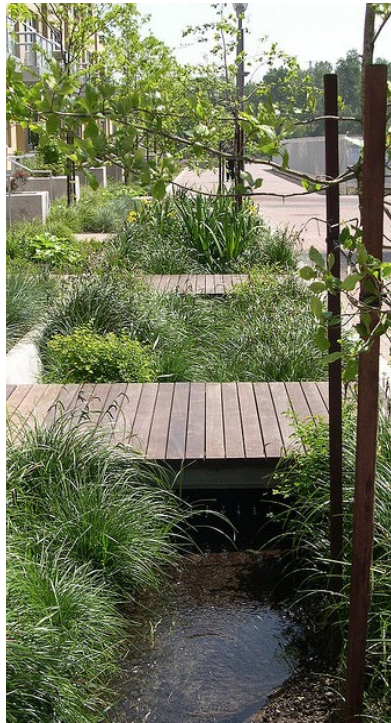
Where required, private developments should capture and treat a portion of runoff from their individual sites. Private stormwater facilities can be tied to the large detention basins located within the neighborhood's public open spaces. Green infrastructure may be utilized to decrease the amount of stormwater channeled into the traditional storm sewer system. Landscape areas adjacent to, and medians within parking areas, can utilize bioswales and bioretention planters that not only provide functional value but also create aesthetic amenities for the area. It is encouraged that runoff from roofs and paved areas be captured when possible.



Surface parking lot with permeable pavement



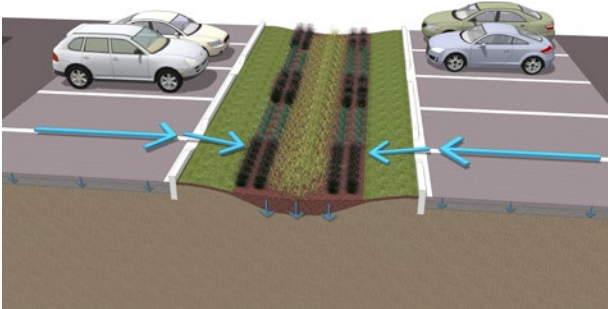
Bioretention swale



Stormwater planter in confined urban space



Dry creek bed and bioswale installation



Green infrastructure for tight urban applications

Decorative check dams and stormwater chain



Bioretention pond and wetland landscape



Permeable pavers

Building and Lot Landscape Guidelines

ESSENTIAL ELEMENTS

- Large, sweeping swaths of native grasses, wildflowers, and shrubs defining passive spaces.
- Manicured lawns and formal stylized planting compositions in main gatherings areas and at building and amenity area entrances with shrub borders and flowering perennials.
- Accent plantings of evergreen and flowering perennials or wildflower around native grass massings.
- Shade trees line major pedestrian paths.

PLANT PALETTE

Native plant material will be emphasized throughout the site. The plant palette will not only define the aesthetics of the district, but will serve to define the program of individual spaces. Active spaces and gathering areas will feature manicured lawns and more formal planting areas with more constructed compositions. These planting areas will feature flowering perennial beds and shrub borders to help shape spaces. Large shade trees will help define sidewalks and paths.

Passive areas designed for circulation or as backdrops for activity areas may be comprised mainly of large swaths of native grasses, wildflowers, and small shrubs. Single or small groupings of hardy deciduous or evergreen trees will be placed among the grass prairies.



Layered woodland-type plantings



Native plantings along secondary street



Native grass massing on steep slope



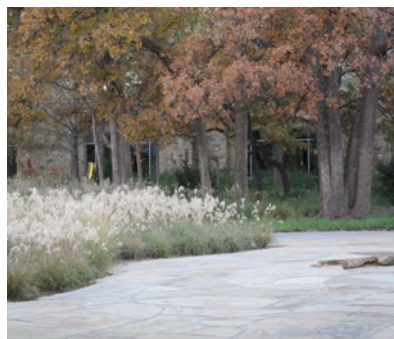
Native grass with accent evergreen plantings



Native oak savanna landscape within a corporate office campus



Native trees and grasses in a parking island



Native plantings defining a plaza



Formal native landscape at building entrance

SAMPLE PLANT SELECTION

Deciduous Trees

- Bur Oak
- White Oak
- Swamp White Oak
- Kentucky Coffee Tree
- Ginkgo
- Hybrid Elms
- Littleleaf Linden
- Tulip Tree
- Sugar Maple
- Bald Cypress
- Hawthorn
- Prairie Gold Aspen
- Serviceberry

Evergreen Trees

- Concolor Fir
- Black Hills Spruce
- Serbian Spruce
- Colorado Blue Spruce
- Eastern White Pine
- Eastern Hemlock
- Eastern Red Cedar
- Ponderosa Pine
- Taylor Juniper

Shrubs

- Fragrant Sumac
- Viburnum
- Witchhazel
- Chokeberry
- Sweetspire
- Clethra
- Hydrangea
- Creeping Juniper
- Yew

Native Grasses & Perennials

- Buffalo Grass
- Blue Grama Grass
- Little Bluestem
- Prairie Dropseed
- Big Bluestem
- Switchgrass
- Common Rush
- Sedges
- Coneflower
- Penstemon
- Milkweed
- Aster
- Liatris
- Primrose
- Yarrow
- Goldenrod
- Catmint

*not intended to be exhaustive

Dark Skies

ESSENTIAL ELEMENTS

- Selected exterior light fixtures should be designed to prevent light pollution.
- Only Cutoff and Full Cutoff fixtures should be permitted.
- This applies to street & pedestrian lights, parking lot lights, exterior building lights, and any other area light intended to provide a minimum level of illumination.
- Exterior accent and decorative lighting are not required to meet these requirements. This includes but is not limited to: illuminated bollards, string lights, underlighting of benches, stairs, and other features, tree uplighting, illuminated signage, public art lighting, etc...

LIGHT POLLUTION

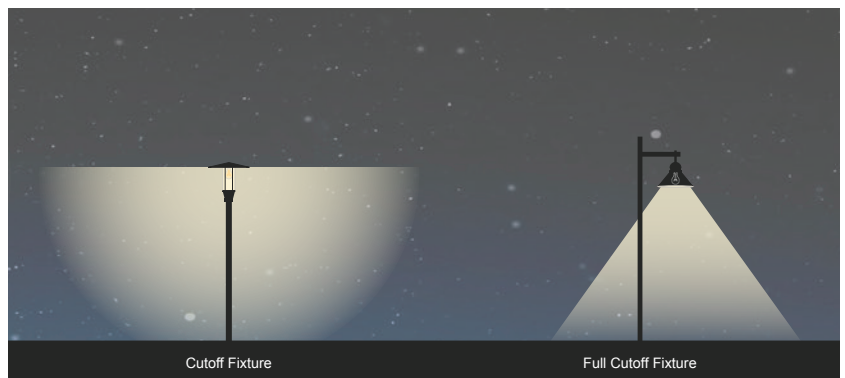
Light pollution is the unwanted and excessive casting of light by exterior fixtures. Examples include glare from nearby lights, light trespass into windows of adjacent buildings, and sky glow which is commonly seen over heavily populated areas. Manufacturers now create special fixtures to more directly focus light on an intended area.

In addition to increasing energy consumption, light pollution can disrupt delicate ecosystem balances that rely on the natural day & night cycle, such as migratory patterns of birds. Excessive night time light has even been shown to affect sleep patterns in humans, making it harder to sleep at night.

The diagram below illustrates the different levels of cutoff that fixtures use to prevent uplighting. Lighting should be either Cutoff Fixtures or Full Cutoff Fixtures. No Cutoff and Semi Cutoff fixtures should not be permitted.



Unpermitted Fixtures



Permitted Fixtures



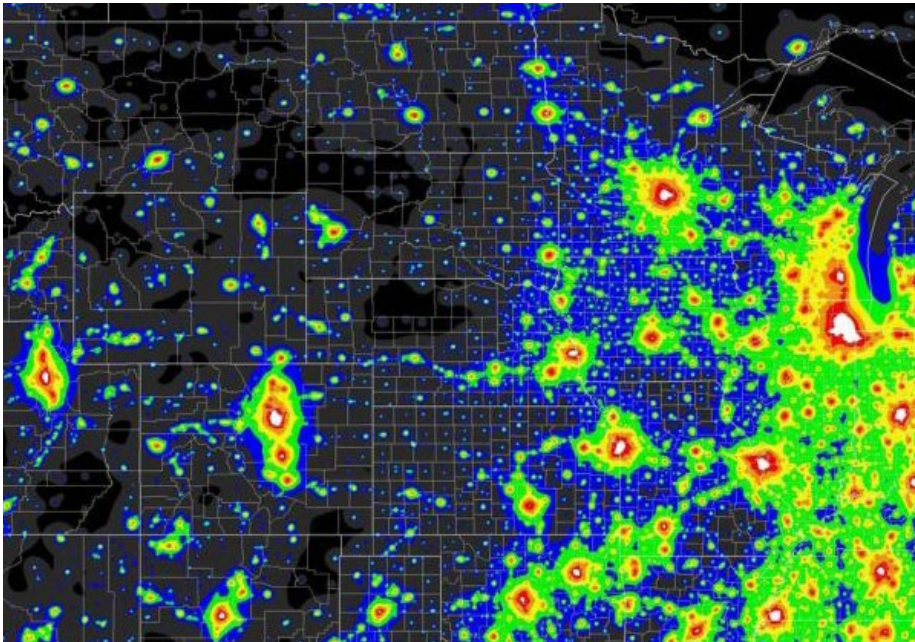
An example of a full cutoff fixture



Local example of cutoff fixture



Glare caused by No Cutoff Fixtures



Levels of light pollution illustrated across the Midwest and Rocky Mountains.



Sky glow seen from outside of a nearby city.

Public Art

ESSENTIAL ELEMENTS

- The scale of a public art piece shall correspond to the surrounding context. They should be large enough to make an impact without overwhelming the space.
- Art can have historic or cultural significance.
- Public art can be interactive and invite users to engage with it and the surrounding space.
- Public art is often the focal point of a public space or helps terminate an axial view.

Public art is important to bring life and culture to a space. It can come in a variety of forms and sizes, and it can be either a literal interpretation of something related to the area (providing educational opportunities and historic significance) or an abstracted piece that brings curiosity and draws interest to the space. All public art should provide aesthetic allure and give a space a unique identity.

The diagram below shows key locations for public art placement. These suggested locations are ideal in terminating a sight line, adding life to an open space, and creating visual or interactive appeal to the area.

KEY LOCATIONS



Public Art Examples



